

Supplementary Planning Information

HAVANT BOROUGH COUNCIL
DEVELOPMENT MANAGEMENT COMMITTEE
22 February 2018

The following supplementary planning information was unavailable when the agenda for the Development Management Committee held on 22 February 2018 was,

Agenda No Item

4 Site Viewing Working Party Minutes (Pages 1 - 2)

9(1) APP/17/01071 - Northney Farm Tea Room and Education Centre, St Peters Road, Hayling Island, PO11 0RX (Pages 3 - 10)

Proposal: Single storey rear extension to Tea Rooms.

Associated Documents:

<https://tinyurl.com/yago9rlc>

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HAVANT BOROUGH COUNCIL

At a meeting of the Site Viewing Working Party held on 15 February 2018

Present

Councillor Keast (Chairman)

Councillors Buckley, Keast, Satchwell, Davis (Standing Deputy), Hughes, Perry and Lloyd

Officers: Emma Chisnall,
Lewis Oliver
Jack Caine

37 Apologies

Apologies for absence were received from Cllr Patrick.

38 Minutes

The Minutes of the last meeting of the Site Viewing Working Party held on the 4 January 2018 were received.

39 Declarations of Interests

There were no declarations of interest from members present relating to matters on the agenda.

40 Northney Farm Team Room and Education Centre, St Peters Road, Hayling Island, PO11 0RX

Proposal: Single storey rear extension to tea Rooms.

The Site Viewing Working Party viewed the site given a request from the Head of Planning Services that the application be determined by the Development Management Committee.

The Working Party received a report from the Head of Planning Services which identified the following key considerations:

- (i) Principle of Development
- (ii) The nature of the Development
- (iii) The Business Case
- (iv) Impact upon the character and appearance of the area and the existing building
- (v) Impact upon residential amenity
- (vi) Parking and Highways matters

(vii) Effect on Protected Species/Habitats.

The Working Party viewed the site, the subject of the application, to determine if any further information should be provided to the Development Management Committee. The site was also viewed from:

- The rear of Meadowsweet, an adjacent property
- The rear of 2 Clovelly Road, an adjacent property.

RESOLVED that based on the information available at the time the following detail be provided to the Development Management Committee:

- Information relating to how the overflow car parking provisions would be utilised.

The meeting commenced at 1.00 pm and concluded at 1.50 pm

ADDENDUM

DEVELOPMENT MANAGEMENT COMMITTEE
DATE 22nd February 2018

Item 9 (1)

Site Address: Northney Farm Tea Room and Education Centre, St Peters Road, Hayling Island

Updated 21st February 2018.

Site View Working Party

Following a request from the Site View Working Party the following update is provided in relation to the use of the overflow parking area (west of St Peters Road):

The Agent has provided the following comments on the use of this area:

The field opposite (west) of Northney Farm Tea Rooms is also owned by the applicants. This field is used for occasional parking when there is increased parking demand for the Educational/Exhibition Space. The Educational/Exhibition space is used less than 28 days per annum.

The barn attached to the Tea Room has successfully been used to host the Havant Arts Trail, Hayling Photographic Society's annual exhibition, printing days, art classes etc. On occasions like these, when a large number of visitors are expected, the field directly to the west is used for parking using the 28-day rule. The barn is also used to host school visits where children can look at displays of farm tools and a photographic display tracing the history of the farm.

As stated above, but to clarify again, the parking is only used for occasional overflow parking for the exhibition space only.

Updates

Executive Summary

Clarification in relation to final parking numbers has now been received. The proposal is for a total of 25 spaces for customers (existing 18 spaces for customers). Staff would park in the existing farmyard complex.

5 Statutory and Non-Statutory Consultations

Development Engineer – Highways:

I can confirm that subject to the implementation of the details in your email dated 20 February 2018. I can confirm that the Highway Authority would offer no objection to this planning application

Officer Comment:

The Development Engineers comments are based on the following:

- A condition being imposed on covers (48 indoor and 32 outdoor);

- The provision of car parking as previously approved under planning permission APP/13/01262 (including two spaces not yet implemented), and the relocation of staff parking and the areas use for customer parking (these measures provide 6 extra customer parking spaces over the existing layout);
- Existing hours of use conditions being retained.

These requirements are set out in the revised conditions below.

Environmental Health:

Further Comments:

The need for the noise surveys could be alleviated by a good management plan to minimise any noise impact from the car parking area.

Further in relation to the patron's noise (or potential) acoustic screening (as discussed) could be introduced to minimise the impact on nearby residents.

In relation to the flue, the proposed insertion of a silencer, should ensure adequate protection and I would have no further comment in this issue.

Officer Comment:

A condition is recommended in relation to noise management in order to ensure that adequate measures are adopted to minimise impacts beyond the site from the parking area.

Acoustic screening is recommended under condition 13, this will help to mitigate noise from people sitting outside and accessing/exiting the building.

A condition is recommended in relation to the fitting of a silencer in the existing flue. It is also noted that the flue is positioned in the northern end of the building and therefore well away from the nearest residential property.

7. Planning considerations

7.24 Concerns originally expressed by the Council's Environmental Health Officer have now been addressed as above.

7.24 Correction to report second line of this paragraph should read*The proposals would result in a reduction of outdoor seating over the existing arrangement and it is considered that a large part of the impact is from external noise resulting from patrons sitting outside,*

7.25 Correction to report first line should read....*It is understood that no **new** external extract equipment will be needed.....*

7.25 Updated comments from the Council's Environmental Health Officer confirm no objection subject to conditions as 5 above.

7.26 Parking space arrangements have now been clarified further by the submission of an annotated plan Drawing No. 17077-103 B which shows a total of 25 spaces for customers. A copy of the plan is attached to this update.

7.29 The Councils Development Engineer (Highways) has confirmed that there are no objections subject to conditions.

9. RECOMMENDATION

There are a number of changes and additions to the recommended conditions and for simplicity the full list of recommended conditions are set out below:

That the Head of Planning be authorised to **GRANT PERMISSION** for application APP/17/01071 subject to the following conditions:-

1 The development must be begun not later than three years beginning with the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

2 The development hereby permitted shall be carried out in accordance with the following approved plans:

Tree Survey: Received Dated 16.10.17

Proposed Site Plan with Parking: Drawing Number 17077-103 B

Proposed Site Plan: Drawing No 17077-112 C

Location and Block Plan: Drawing No 17077-101 A

Proposed Floor Plan: Drawing No 17077-412 B

Proposed Roof Plan: Drawing No 17077-413

Proposed East and South Elevation Plan: Drawing No 17077- 512 B

Proposed North and West Elevation Plan: Drawing 17077- 513

Acoustic Statement: Dated 02.01.2018

Parking Statement: Dated 02.01.2018

Heritage Report: Dated 29.09.2017

Reason: - To ensure provision of a satisfactory development.

3. Other than as permitted under condition 4 below the tearoom hereby permitted shall not be open to the public before 10.00 hours or remain open after 17.00 hours on Monday to Sunday.

Reason: To protect the amenities of nearby residential properties and having due regard to policy DM10 of the Havant Borough Core Strategy 2011 which forms part of the Local Development Framework and the National Planning Policy Framework.

4 The tearoom may open to the public between the hours of 10.00 and 23:00 hours on Monday to Saturday on a maximum of three days in any week.

Reason: To protect the amenities of nearby residential properties and having due regard to policy DM10 of the Havant Borough Core Strategy 2011 and the National Planning Policy Framework.

5 No sound amplifying equipment shall be installed in the premises, which when operated is audible outside the premises, without the consent of the Local Planning Authority in writing.

Reason: To protect the amenities of the area and having due regard to policy DM10 of the Havant Borough Core Strategy 2011 and National Planning Policy Framework.

6 The range of food sold at the premises shall be in accordance with the previously approved written details in the Design and Access Statement paragraph 4.3 under application 09/74191/000 and there shall be no change in the range of food sold unless otherwise agreed in writing by the Local Planning Authority.

Reason: To accord with the terms of the application and to protect the amenities of occupiers of adjoining properties and having due regard to policy DM10 of the Havant Borough Core Strategy and National Planning Policy Framework.

7 The amount of covers served at the team room shall not exceed 80 in total with a maximum of 48 served internally and 32 externally.

Reason: To protect the amenities of nearby residential properties and having due regard to policy DM10 of the Havant Borough Core Strategy 2011 and National Planning Policy Framework.

8. Prior to the extended tea room and kitchen facilities being first brought into use the existing extract at the building shall be fitted with a silencing module as set out in the Acoustic Statement hereby approved.

Reason: In the interests of the amenities of the area and having due regard to policy DM10 of Havant Borough Local Plan (Core Strategy) 2011.

9 The tearoom hereby permitted shall be limited to the area shown on drawing number 17077-112 C with any outside seating proposed restricted to an area to be defined on a plan to be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the scale of the tearoom use is compatible with this rural location in the interests of the character and appearance of the area and sustainability having due regard to policy AL2 of the Havant Borough Allocations Plan.

10. The amended car parking arrangements shown on drawing number 17077-03 B shall be made fully available for use prior to the development being first brought into use and shall be retained thereafter for their intended purpose.

Reason: In the interests of highway safety and having due regard to policy DM14 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

11 The external materials used shall match, in type, colour and texture, those of the existing building so far as practicable.

Reason: In the interests of the amenities of the area and having due regard to policy CS16 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

12 Notwithstanding the hereby permitted development no percussive piling or works with heavy machinery (i.e. plant resulting in a noise level in excess of 69dbAmax – measured at the sensitive receptor) shall be undertaken during the bird overwintering period (i.e. October to March inclusive).

Reason: To provide ecological protection and enhancement in accordance with the Conservation Regulations 2010, Wildlife & Countryside Act 1981, NPPF, NERC Act 2006 and Policy CS 11 of the Havant Borough Core Strategy March 2011 and National Planning Policy Framework 2012.

13 No development hereby permitted shall commence unless and until a specification of an acoustic fence together with a plan has been submitted to and approved in writing by the Local Planning Authority. The fence shall be provided to the south and part east of the external seating area. The development hereby permitted shall not be brought into use until the implementation of the fence has been completed in full accordance with that specification.

Reason: In the interests of the amenities of the locality and having due regard to policy DM10 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework 2012.

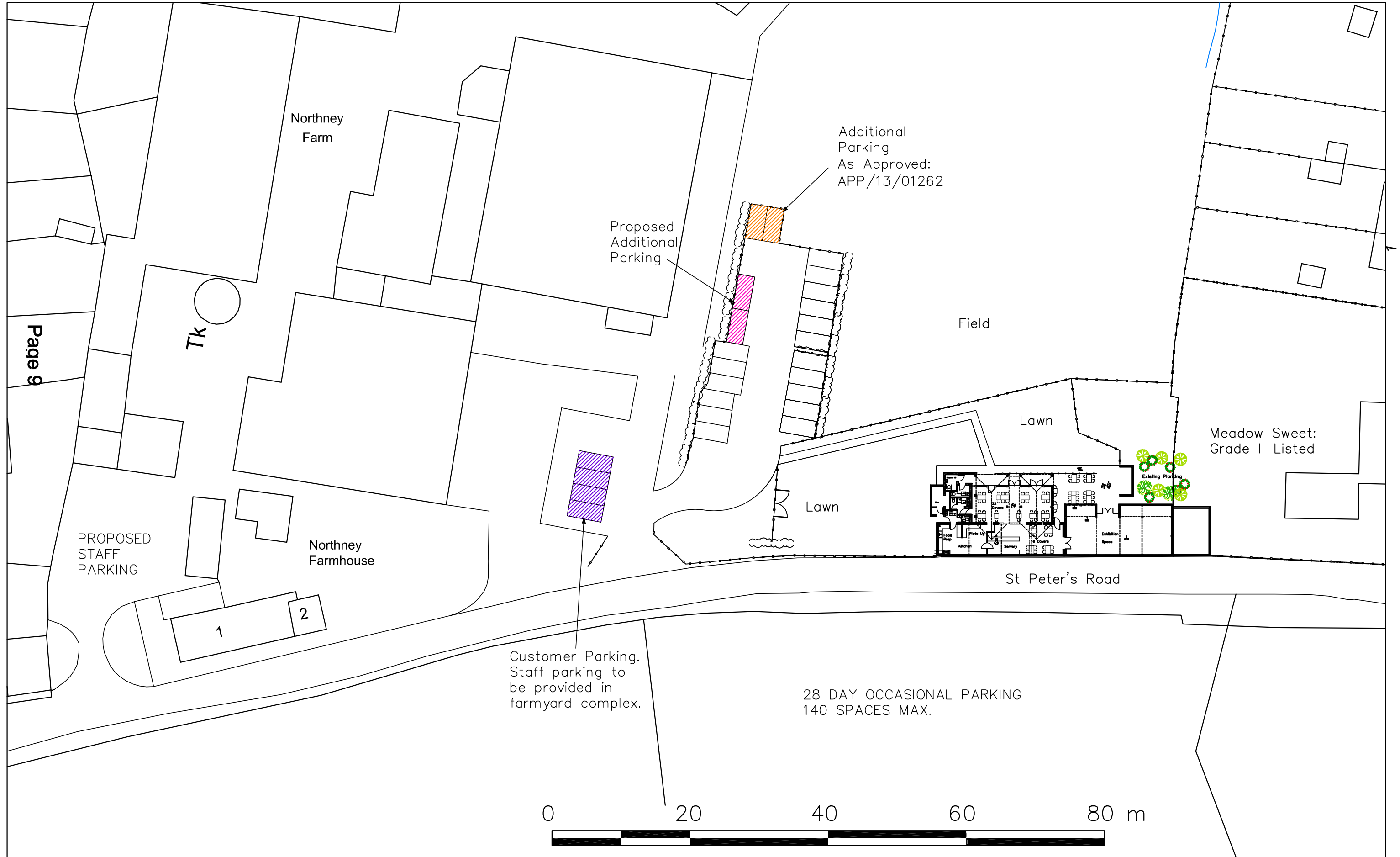
14. Prior to the extended tea room being brought into use a site management plan shall be submitted to and approved in writing by the Local Planning Authority setting out measures for the management of noise from the car parking area.

Reason: In the interests of the amenities of the locality and having due regard to policy DM10 of the Havant Borough Local Plan (Core Strategy) 2011.

15. Prior to the extended tea room being brought into use details of the location of staff parking shall be submitted to and approved in writing by the Local Planning Authority. The staff parking areas shall thereafter be retained for staff parking.

Reason: In the interests of highway safety and having due regard to policy DM14 of the Havant Borough Local Plan (Core Strategy) 2011 and the National Planning Policy Framework.

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Northney Farm
Tea Rooms,
St Peter's Rd,
Hayling, PO11 0RX

PROPOSED
SITE PLAN

Revisions
A. Survey Amendments 26/07/17
B. Planning Revisions. 21/02/18
C.

Martin Critchley
CHARTERED ARCHITECT

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Scale A3=1:500 A1=1:250
Date 20/07/17
Drawn OS/SAR

17077-103^B

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